

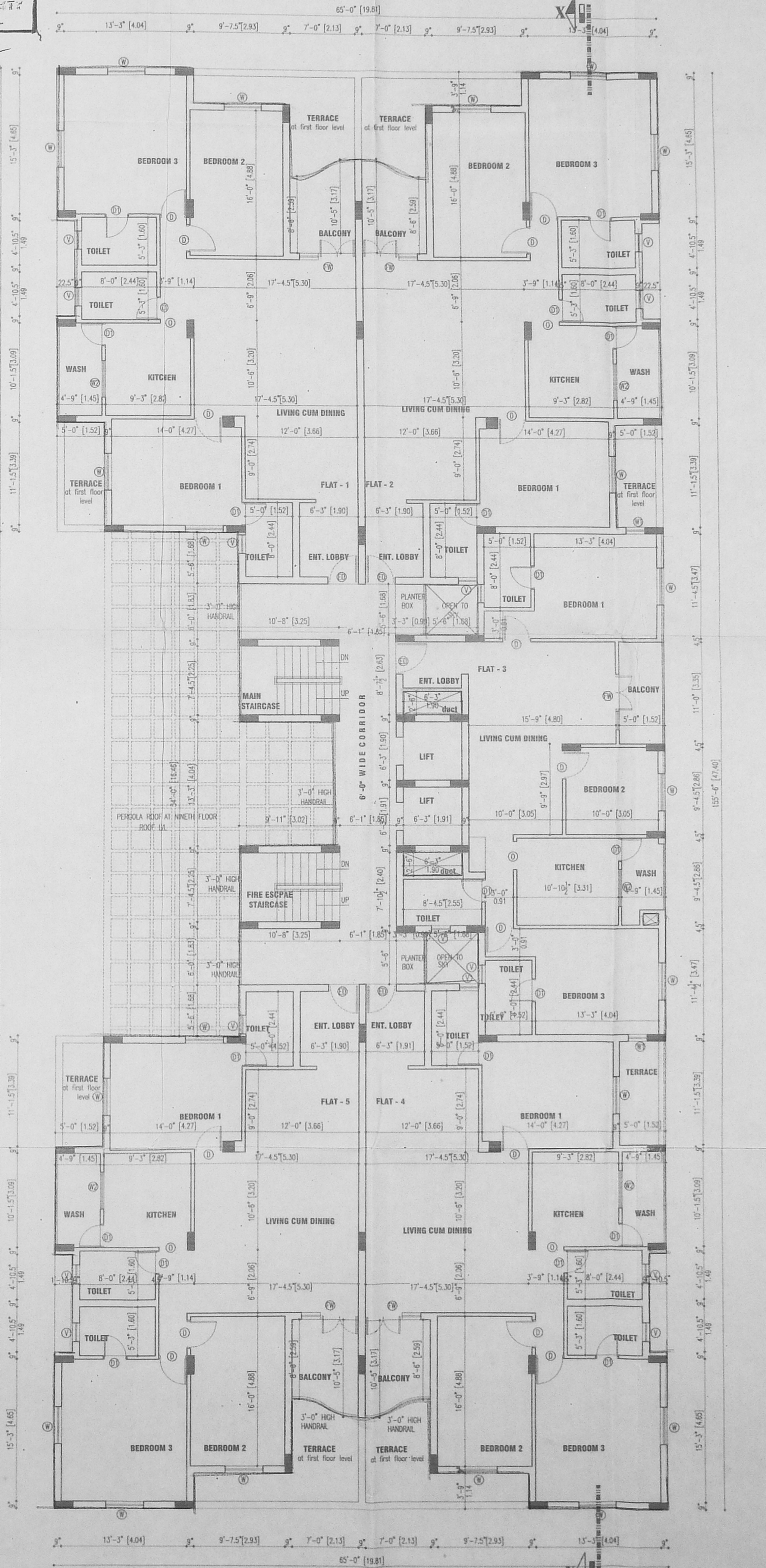
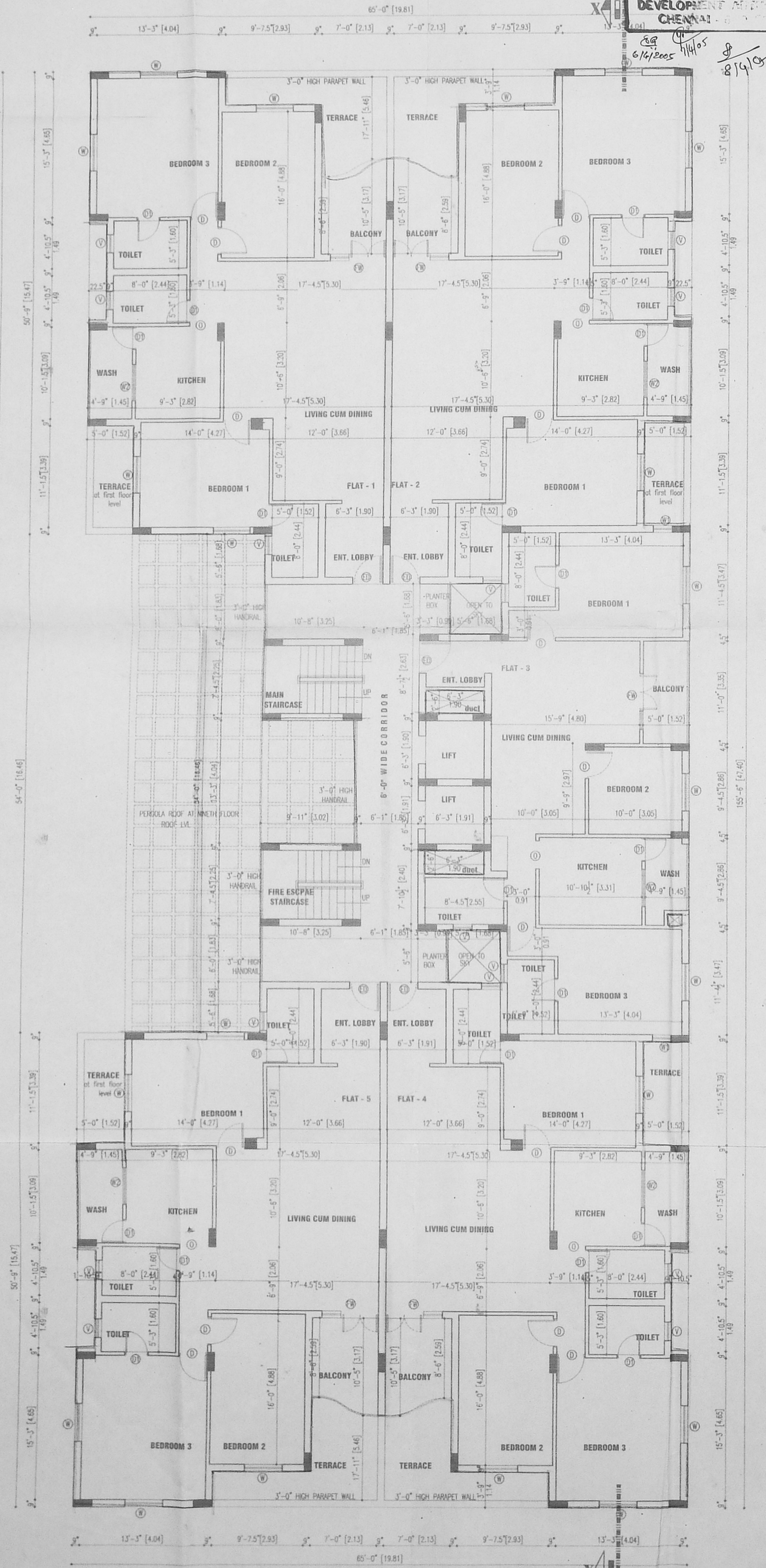
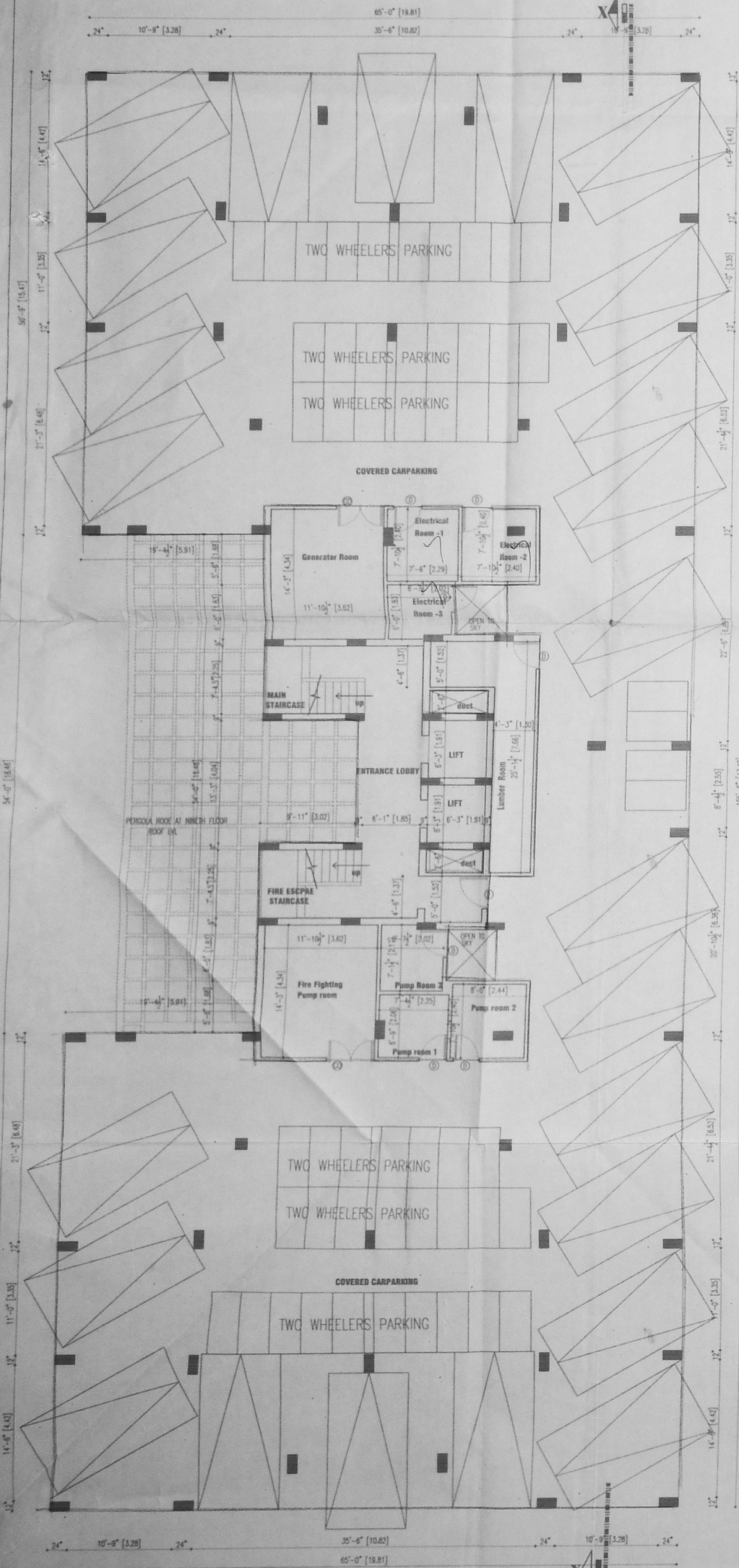
OFFICE COPY

C/PP/MSB/G A / 2005
 Planning Permit No. D/ 2005
APPROVED
 SUBJECT TO THE CONDITIONS IN
 THIS OFFICE LETTER
 No. 23/11/2004 dt. 14/7/2005
 28/11/05
 FOR MEMBER SECRETARY
 CHENNAI MUNICIPAL CORPORATION
 DEVELOPMENT AUTHORITY
 CHENNAI
 29/11/2004

SCHEDULE OF JOINERY		
TYPE	DESCRIPTION	NO. & SIZE
01	ENTRANCE DOOR	1 MMDA C 3/12 NO. 512
02	DOOR	C. No. 23/11/2004
03	DOOR	Asst. 3/12
04	SHRIMP	Scrutiny :
05	SHRIMP	PART I
06	SHRIMP	PART II
07	SHRIMP	

A.P. D.P.

29/11/2004



COURT INDICATION	
PROPOSED BUILDING	
PLOT BOUNDARY	
ROAD ACCESS	
SEWERLINE	

OWNER'S SIGNATURE

For LANCOR GESCO PROPERTIES LIMITED
R. V. Shekar
 R. V. Shekar
 Managing Director

STRUCTURAL ENGINEER

LICENCED SURVEYOR
W.V.
 A. VENKAT, B. ARCH.
 ARCHITECT LICENCED SURVEYOR
 CLASS I No. R.A. 41,
 62, C.P. RAMASWAMY ROAD,
 ALWARPET, CHENNAI - 600 018.
 TEL. NO. 4997405, 4997409

nataraj & venkat associa

Architects
 62.63 CP Ramaswamy road
 Alwarpet,
 Chennai - 16.
 Tel. 4997405

JOB TITLE
 PROPOSED APARTMENT BUILDING AT
 DOOR NO. 193, PART 194, PETERS ROAD,
 ROYAPPETTAH, CHENNAI - 14
 R S NO 357 / 19, 357 / 25 BLOCK NO : 12
 MYLAPORE, TRIPLICANE TALUK, CHENNAI DIST.

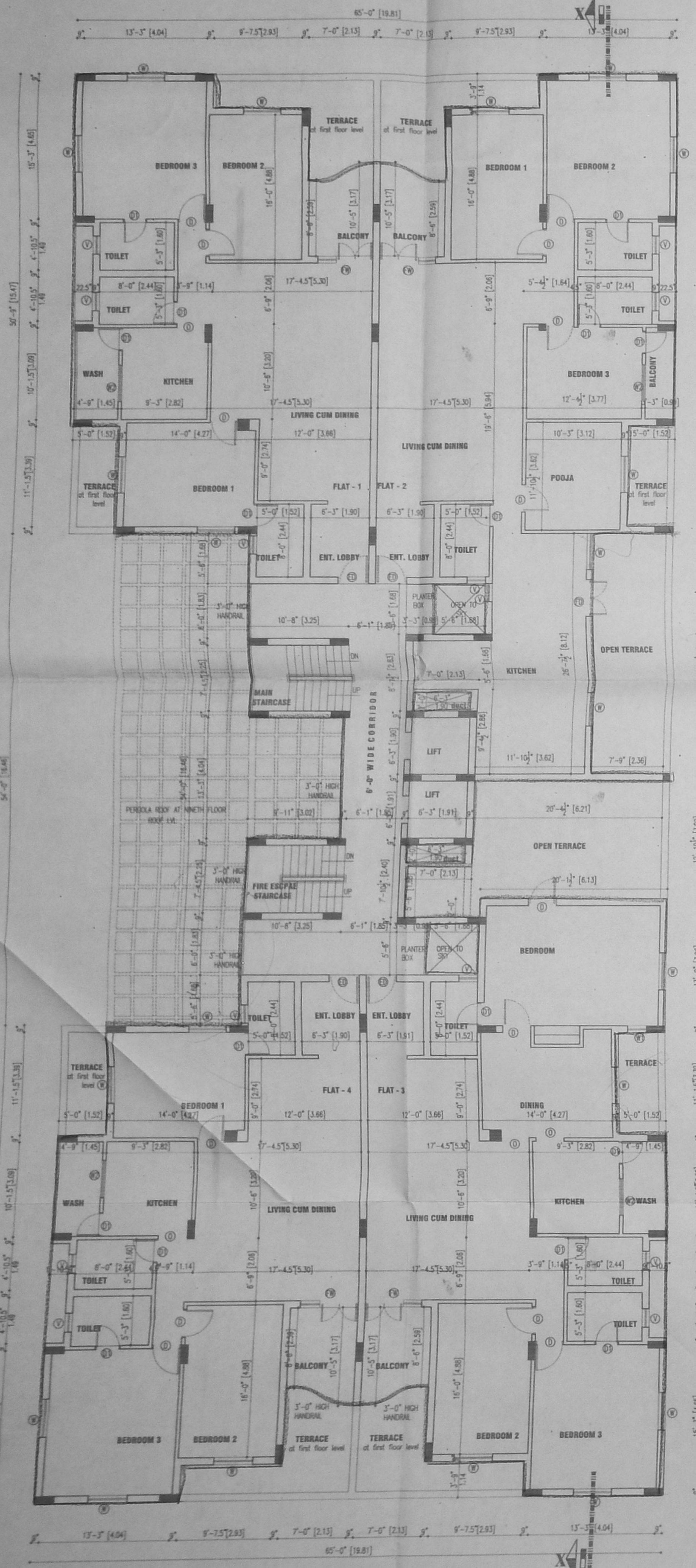
DRAWING TITLE
CORPORATION DRAWING

DRAWN	K.C.K.	CHECKED	
SCALE	1" = 8'-0"	DATE	12-04-2004

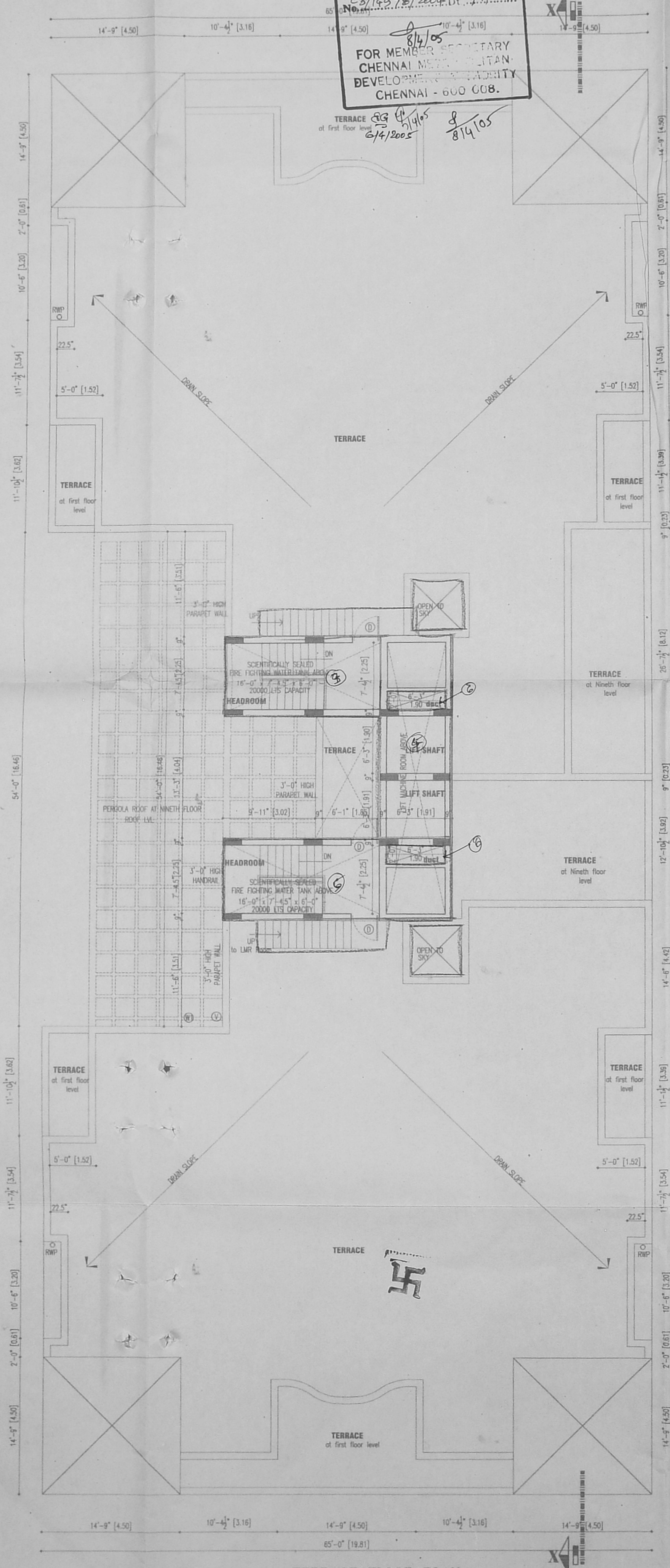
OFFICE COPY

C/P/MSB/G B/2005
 Planning Permit No. 23/14276/2005 Dt. 14/2005
APPROVED
 SUBJECT TO THE CONDITIONS IN THIS OFFICE LETTER
 8/14/05
 FOR MEMBER SECRETARY
 CHENNAI METROPOLITAN
 DEVELOPMENT AUTHORITY
 CHENNAI - 600 008.

SCHEDULE OF JOBBES		SIZE
TYPE	DESCRIPTION	
00	ENTRANCE DOOR	11'-0" x 7'-0"
01	DOOR	3'-0" x 7'-0"
02	GRILL DOOR	3'-0" x 7'-0"
03	WINDOW	4'-0" x 10'-0"
04	WINDOW	4'-0" x 10'-0"
05	WINDOW	4'-0" x 10'-0"
06	WINDOW	4'-0" x 10'-0"
07	VENTILATOR	4'-0" x 10'-0"
08	FRENCH WINDOW	4'-0" x 10'-0"
09	FRENCH DOOR	4'-0" x 10'-0"



NINTH FLOOR PLAN



TERRACE FLOOR PLAN

COLOUR INDICATION
 PROPOSED BUILDING
 PLOT BOUNDARY
 ROAD ACCESS
 SEWER LINE

OWNER'S SIGNATURE
 For LANGOR GESCO PROPERTIES LIMITED
 R. V. Shekar
 Managing Director

STRUCTURAL ENGINEER

LICENSED SURVEYOR
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 TEL. No. 4997465, 4970406

nataraj & venkat associates
 Architects
 62,63 C.P. Ramaswamy road
 Alwarpet,
 Chennai - 18.
 Tel : 499 74 65

PROPOSED APARTMENT BUILDING AT
 DOOR NO - 193, PART 194, PETERS ROAD,
 ROYAPPETTAH, CHENNAI - 14
 R S NO 357 / 19, 357 / 25 BLOCK NO : 12
 MYLAPORE, TRIPPLICANE TALUK, CHENNAI DIST.

DRAWING TITLE
 CORPORATION DRAWING

DRAWN
 K.C.K.
 SCALE
 1" = 8'-0"

CHECKED
 DATE
 12-04-2004

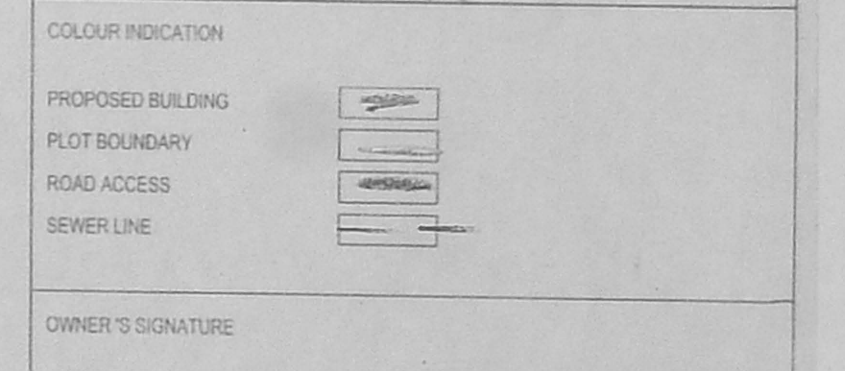
OFFICE COPY

APPROVED
SUBJECT TO THE CONDITIONS IN
THIS OFFICE LETTER
No. 3/14976/2004 Dt. 14/1/2005
8/1/05
FOR MEMBER SECRETARY
CHENNAI METROPOLITAN
DEVELOPMENT AUTHORITY
CHENNAI - 600 008.

SCHEMATIC		MMDA COPY No. 1	
TYPE	DESCRIPTION	NO.	SIZE
ES	ENTRANCE	C.No.	2/14976/2004
DR	DOOR	Asst.	
SC	SHALL DOOR		
W	WINDOW	PART I	
W2	WINDOW	PART II	
V	VENTILATOR		



AREA STATEMENT	SO.FT	SQ.M
PLOT AREA AS PER DCC	29219.96	2714.90
ALLOWABLE FSI	25219.96 X 2.50	3365.20
BUILT UP AREA	73949.90	6786.50
STILT FLOOR	563.90	52.36
TYPICAL FLOOR X 8	64424.00	5985.15
NINTH FLOOR	7590.47	705.17
TOTAL	72578.07	6742.65
NON FSI AREA		
STILT FLOOR COVERED CARPARKING	1028.53	95.15
STILT FLOOR	7329.86	681.90
FSI ACHIEVED - 2.483		
PLOT COVERAGE - 27.56 %		
No. OF CARS REQUIRED - 45 Nos.		
No. OF CARS PROVIDED - 54 Nos.		



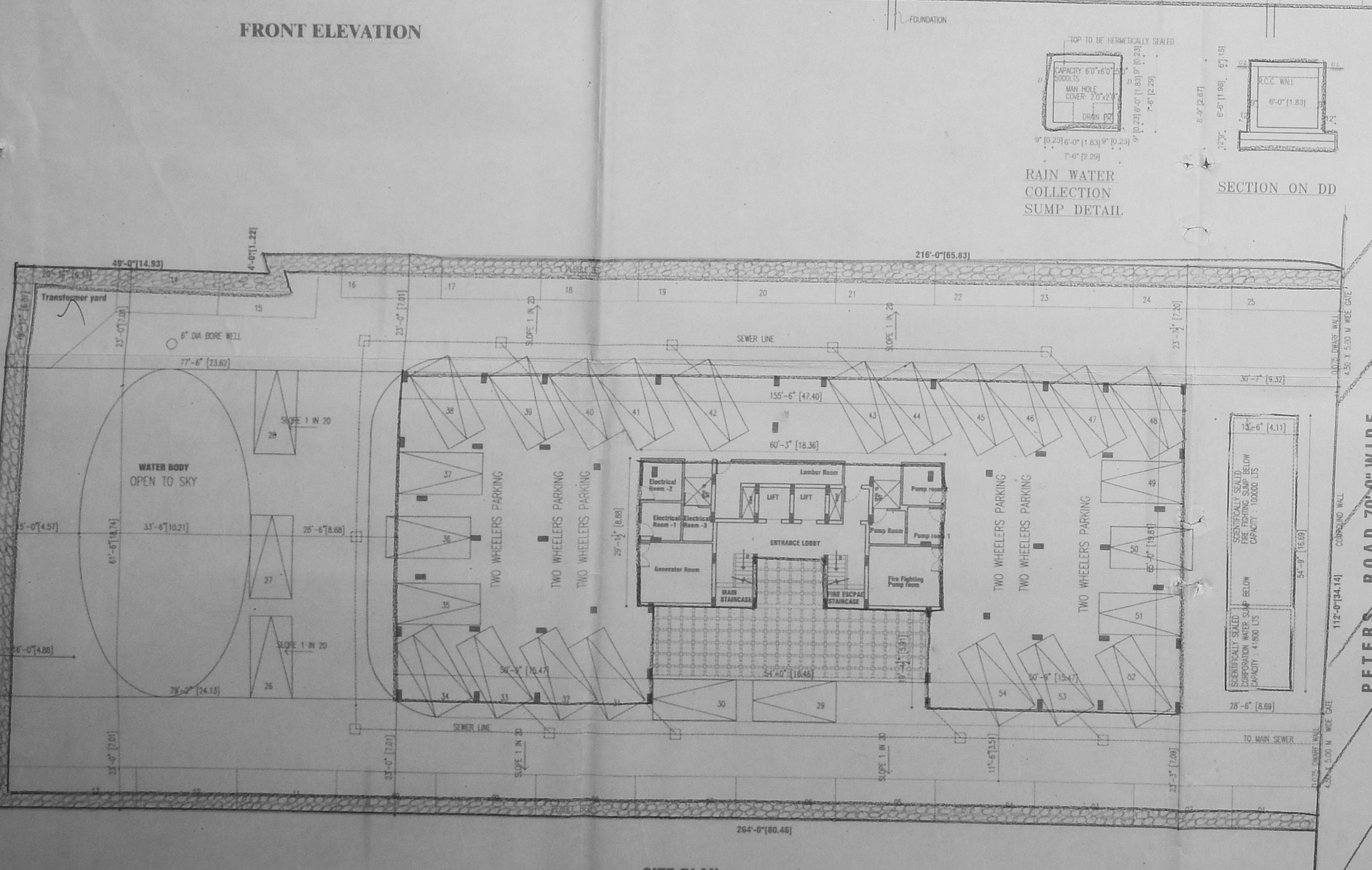
OWNER'S SIGNATURE
For LANDOR BESCO PROPERTIES LIMITED
R. V. Shekar
Managing Director

STRUCTURAL ENGINEER
LICENSED SURVEYOR
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ARCHITECT LICENSED SURVEYOR
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62, C.P. RAMASWAMY ROAD,
ALWARPET, CHENNAI - 600 018.
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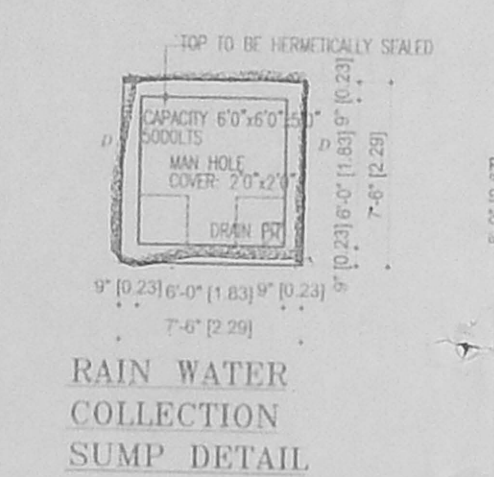
nataraj & venkat associates
Architects
62.63 C.P. Ramaswamy road
Alwarpet,
Chennai - 18.
Tel: 499 74 65

PROPOSED APARTMENT BUILDING AT
DOOR NO. 193, PART 194, PETERS ROAD,
ROYAPETTAH, CHENNAI - 14
R S NO 357 / 19, 357 / 25 BLOCK NO. : 12
MYLAPORE, TRIPLICANE TALUK, CHENNAI DIST.

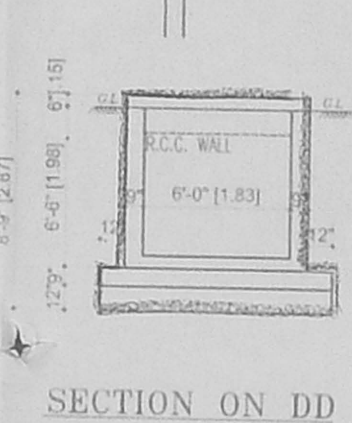
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CORPORATION DRAWING
DRAWN
CHECKED
SCALE
DATE
1" = 8'-0"
12-04-2004



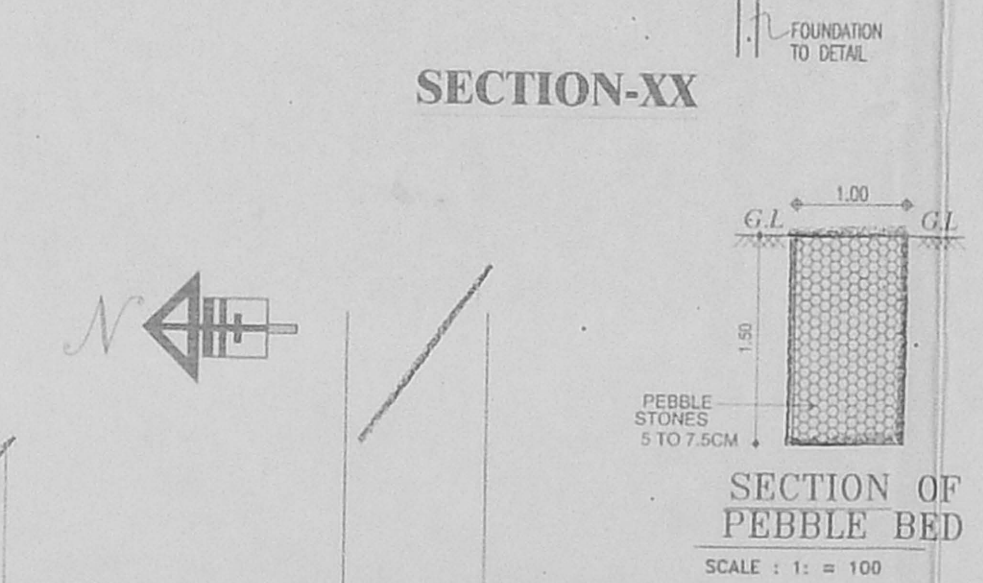
SITE PLAN
SCALE - 1" = 16'-0"



RAIN WATER COLLECTION SUMP DETAIL

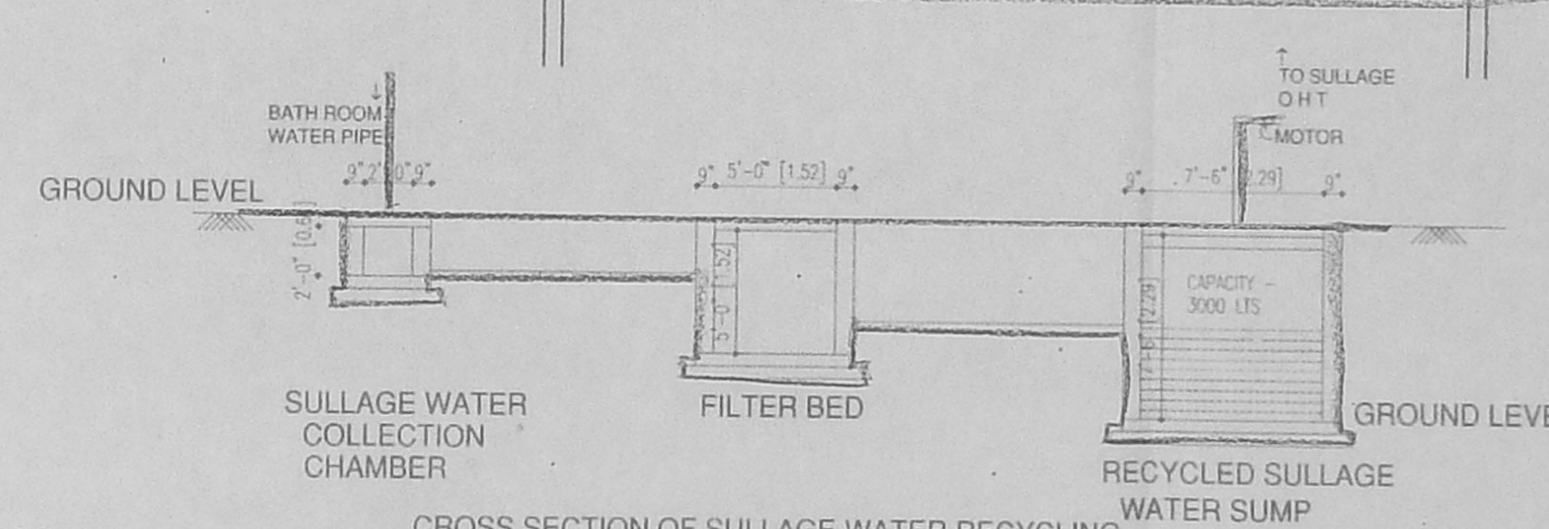


SECTION ON DD

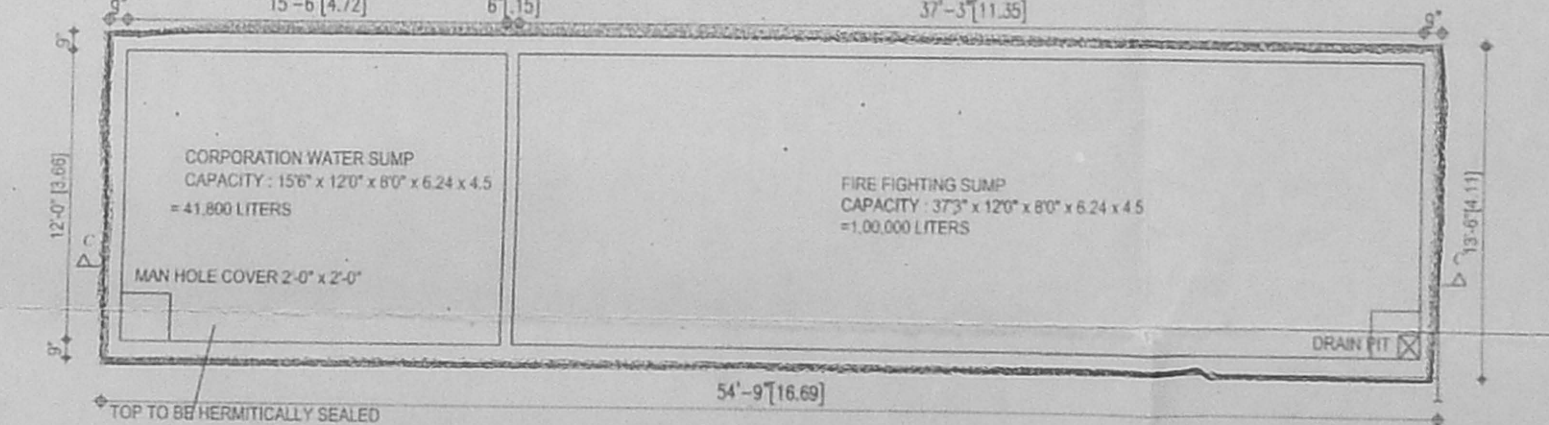


SECTION-XX

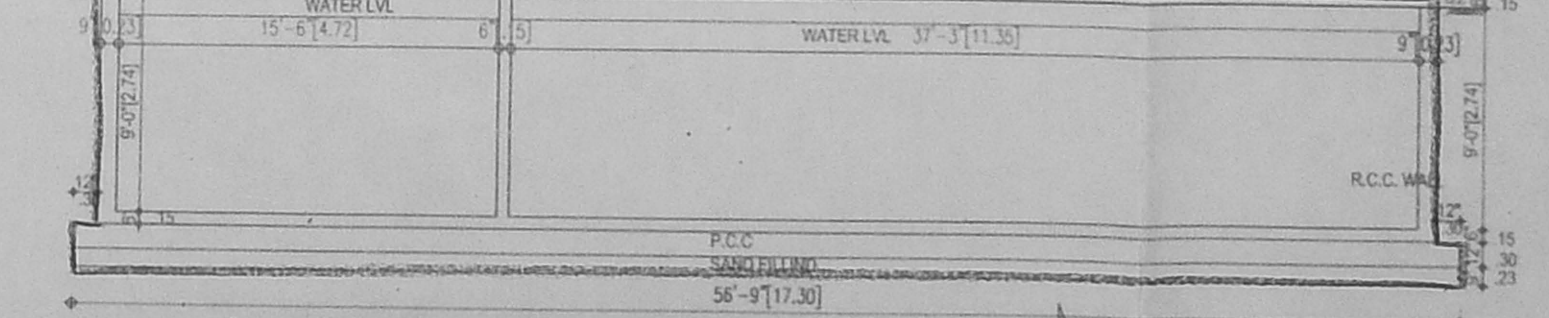
SECTION OF PEBBLE BED
SCALE : 1" = 100'



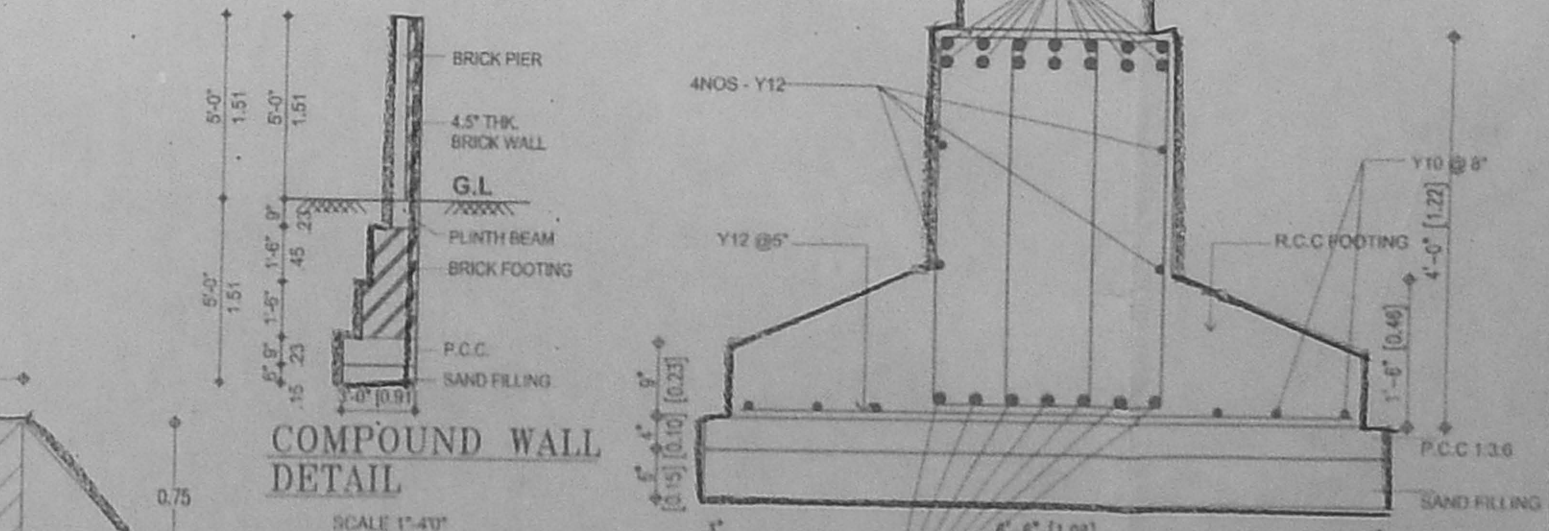
CROSS SECTION OF SILTAGE WATER RECYCLING



PLAN OF SUMP
SCALE: 1" = 4'-0"



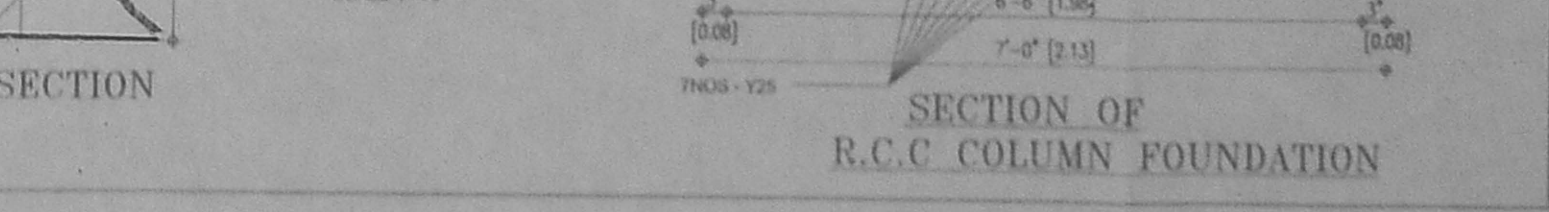
SECTION OF SUMP C-C
SCALE: 1" = 4'-0"



COMPOUND WALL DETAIL
SCALE: 1" = 4'-0"



DWARF WALL SECTION
NOT TO SCALE



SECTION OF R.C.C. COLUMN FOUNDATION

FIRE NOC : R.C NO.1633/A/2004

MMDA C3/PP NO. 1

C.No. C3/14978/2004

LEGEND:
Asst
Scrutiny:
PART I
PART II

A.P
CARBON DIOXIDE EXTINGUISHER
3kg 5kg
FIRE BRIGADE INLET CONNECTION
(4 WAY 1) TOTAL 1No.)
TWIN HEADED YARD HYDRANT
FIRE DOOR
BUTTERFLY VALVE
Y-STRAINER
FIRE PUMP
NON RETURN VALVE
FIRE FIGHTING WATER LINE
FLOW SWITCH

COLOUR INDICATION
PROPOSED BUILDING
PLOT BOUNDARY
ROAD ACCESS
SEWER LINE

OWNER'S SIGNATURE
FOR LANGOR GESCO PROPERTIES LIMITED
R.V. Shekar
Managing Director

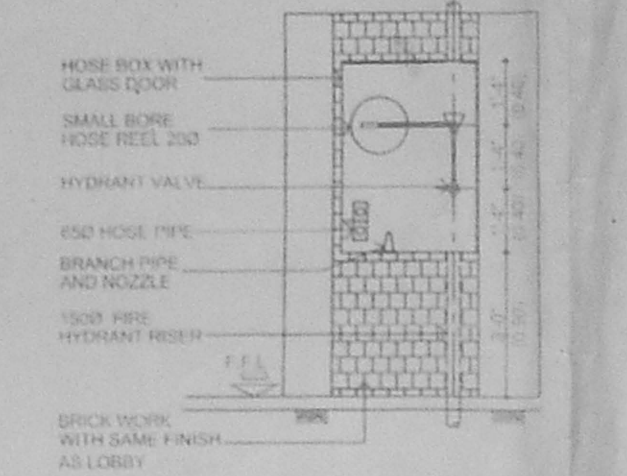
STRUCTURAL ENGINEER
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Chennai - 18
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JOB TITLE

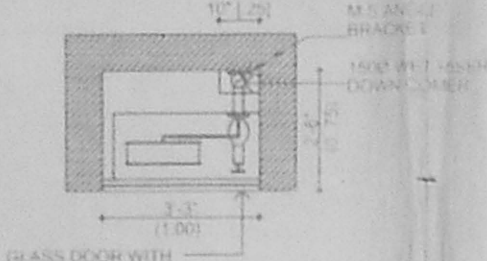
PROPOSED APARTMENT BUILDING AT
DOOR NO 193, PART 194, PETERS ROAD,
ROYAPETTAH, CHENNAI - 14
R S NO 357 / 19, 357 / 25 BLOCK NO : 12
MYLAPORE, TRIPPLICANE TALUK, CHENNAI DIST.

DRAWING TITLE
DRAWN: K.C.K. CHECKED:
SCALE: 1" = 8'-0" DATE: 03-12-2004
F004

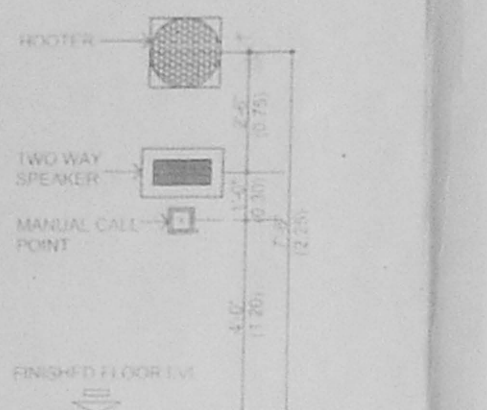
- NOTES:
- There will be one wet-dry cum down-comer per 1000 sqft floor area. The riser will be fully charged with adequate pressure at all times and will be automatic in operation. To feed the wet-dry cum down-comer system an underground static water tank of 50,000 ltr capacity and 1st and 2nd level tank of 50,000 ltr capacity would be provided exclusively for fire fighting purposes. To check the wet-dry cum down-comer the capacity of the pump near the underground static water tank would be 1000 litres and electrical pump of capacity of 100 litres giving a pressure not less than 3 kg/cm². The pump provided will be of multi-stage type with suction and delivery size not less than 150 mm dia. A stand by pump of equal capacity will be provided at an alternative source of supply. (Refer drawing no. F003/F002)
 - A fire-resistance rated at ground level fitted with non-return valve should be provided to the rising main for charging it by the vertical pump. (Refer drawing no. F003)
 - The wet back should be provided all around the building for easy movement of fire units.
 - Exit escapes, automatic fire alarm system, air conditioning system, lift, service ducts will conform to the requirements of National Building Code of India 1983 (part IV fire protection amendment No. 3, January 1987)
 - The requirements of "Fire Lift" shall conform to National Building Code of India 1983, Amendment No. 3, January 1987. Walls of lift enclosures will have a fire resistance of 2 hours. Lift car door will have a resistance of 1 hour. In case of failure of normal power supply it will automatically slip over to alternate source of supply. (Refer drawing no. F001/F002, F003, F004)
 - The building should be provided with lightning arrester.
 - All electric distribution cable-trunking will be laid in a separate duct. The cable-trunking ducts will be sealed at every floor with non-combustible material, having the same fire resistance as that of the duct. Low voltage column voltage wiring running in shaft and in base ceiling shall run in separate conduits. It will be done during the construction stage.
 - Separate circuits for fire fighting pumps, lift, staircases & corridor lighting will be provided directly from the main switchgear panel and these circuits shall be laid in separate conduit pipes so that in one event will not affect others. Master switches controlling essential service circuits will be clearly marked. It will be done during the construction stage.
 - All routes leading to exits should be clearly marked. Emergency lights would be provided at the corridor and near the exits. It will be done during the construction stage.
 - The transformers should be housed away from the building and totally segregated from other area by 4.5m fire resisting wall with an access directly from outside.
 - The fire and life fighting equipment will be provided on all floors including basements.
 - 80 mm dia. in accordance with Appendix IV of National Building Code of India 1983, Amendment No. 3, January 1987 in consultation with the department. It will be done during the construction stage.
 - The width and height clearance of the main gate will not be less than 4.5 mts & 5 mts respectively. Refer drawing no. F003
 - Public address system should be provided to all the floor.



FRONT ELEVATION



PLAN DETAIL OF FIRE HOSE CABINET



TYPICAL MOUNTING DETAILS

- NOTES:
- MANUAL CALL POINT AT 1200mm ABOVE FINISHED FLOOR LVL.
 - TWO WAY SPEAKER AT 1800mm ABOVE FINISHED FLOOR LVL.
 - HOSE BOX AT 2000mm ABOVE FINISHED FLOOR LVL.
 - FIRE HOSE CABINET COMPRISING OF 65mm TWIN HEADED LANDING UNITS LENGTH OF 1.5m 65mm C.P. HOSE 100m 28mm REINFORCED RUBBER HOSE REEL 20m 100mm WITH DRUM FOR EVERY 1000sq m FLOOR AREA.
 - ONE WAY RISER DOWN COLUMN OF CLASS 10 G.I PIPE 65mm DIA 1000sq m FLOOR AREA.
- FIRE ALARM SYSTEM**
- DETECTORS 100cm AT EVERY 60sq m IN ALL THE FLOORS.
MANUAL CALL POINTS SHALL BE PROVIDED IN ALL THE FLOORS.
- PUBLIC ADDRESS SYSTEM**
- SPEAKER & HOOTER SHALL BE PROVIDED IN ALL THE FLOORS.
- SPRINKLERS**
- IN COMMON AREAS - 1NO EVERY 6.00 sq m
IN COMMON AREAS - 1NO EVERY 8.00 sq m
TWIN HEADED YARD HYDRANTS SHALL BE PROVIDED ALL AROUND THE BUILDING AT 30m INTERVAL.
- STAIRCASE**
- TRIAL - 300mm
RISER - 150mm
STAIRCASE WIDTH - 1200mm (min)
STAIRCASE HEAD ROOM - 2200mm (min)
NUMBER OF RISER PER FLIGHT - 16
HEIGHT OF HANDRAIL - 1000mm (min)
GAP BETWEEN TWO VERTICALS - 300mm
- LIFT FIRE LIFT**
- LIFT CAPACITY - 8 PASSENGER
LIFT WITH AUTOMATIC OPERATED DOOR (SELF CLOSING TYPE)
- EXTINGUISHER**
- CARBON DIOXIDE EXTINGUISHER NEAR MSB AND LIFT
WATER PRESSURE TYPE EXTINGUISHER NEAR STAIRCASE
FOAM TYPE EXTINGUISHER NEAR TRANSFORMER YARD AND GENERATOR ROOM
SAND FILLED FIRE BUCKET NEAR TRANSFORMER YARD
1NO DRY CHEMICAL POWDER EXTINGUISHER AT 1NO FOR EVERY 500sq

OFFICE COPY

C/PP/1088/16 D/2005
Planning Permit No. 1633/A/2004
APPROVED
SUBJECT TO THE CONDITIONS IN THIS OFFICE LETTER
C3/14978/2004 14/2005
FOR MEMBER SECRETARY
CHENNAI METRO POLITY
DEVELOPMENT AUTHORITY
CHENNAI - 600 008.

6/14/2005 8/14/05



FIRE PUMPS

SL NO	DESCRIPTION	CAPACITY	REMARKS
01	ELECTRICAL SPRINKLER MAIN PUMP	1000 LPM	
02	JOCKEY PUMP AT PUMP ROOM	100 LPM	
03	ELECTRICAL SPRINKLER MAIN PUMP (STAND BY)	1000 LPM	
04	JOCKEY PUMP AT PUMP ROOM (STAND BY)	100 LPM	

SCHEDULE OF WATER STORAGE

SL NO	DESCRIPTION	UG SUMP CAP IN CUM	FIRE WATER SUMP CAP IN CUM	REMARKS
01	BUILDING		DOMESTIC FIRE WATER 41.8 CUM 50 CUM	
02	O.H.T		100 CUM 30 CUM	